

**Information Open House**  
**APPLICATION FOR COMBINED OFFICIAL**  
**PLAN & ZONING BY-LAW AMENDMENT**  
**97 Gorham Road**

Owner: Bomofive Inc. (Ross Bomcore & Kam Mofid)

Agent: Urban Environments (Greg Hynde)

*File No. 350309-0501*

*March 8, 2022*



This information open house is intended to provide information on a proposed Zoning By-law Amendment for 97 Gorham Road and to receive feedback and comments from the public on the proposal.

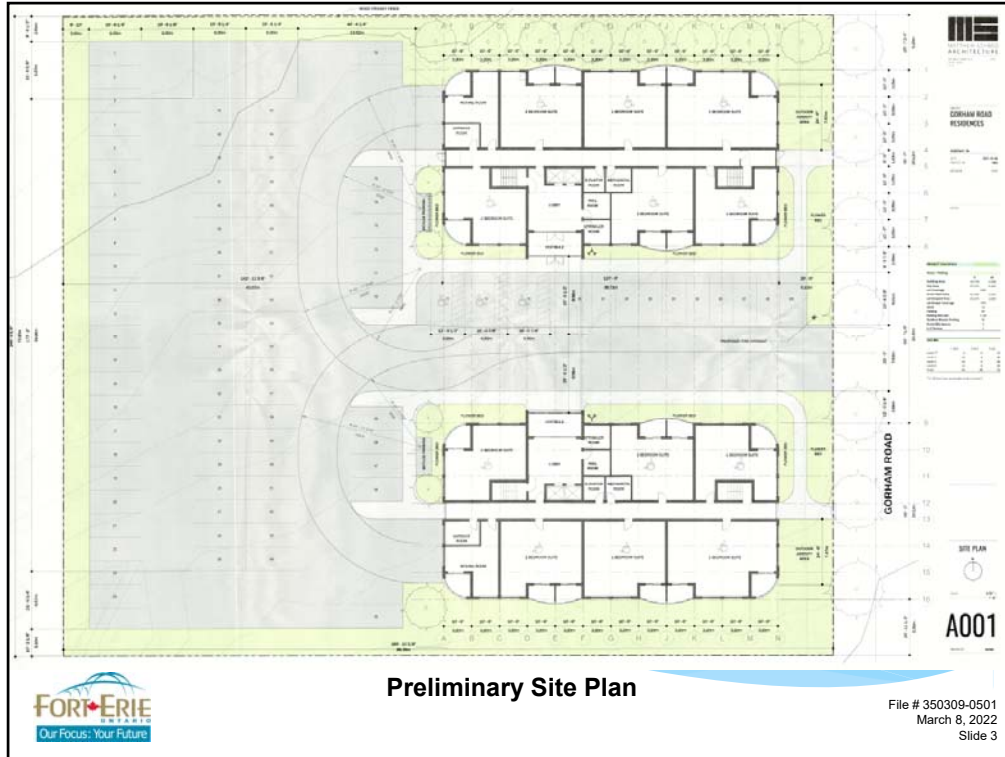
A Combined Official Plan & Zoning By-law Amendment is proposed to permit development of two apartment buildings that are four storeys in height.

An Official Plan Amendment is required to permit an increase in density (units/hectare). A Zoning By-law Amendment is required to permit a reduced lot area for the amount of dwelling units proposed for the development, reduced amount of parking spaces, and a reduced front yard setback.



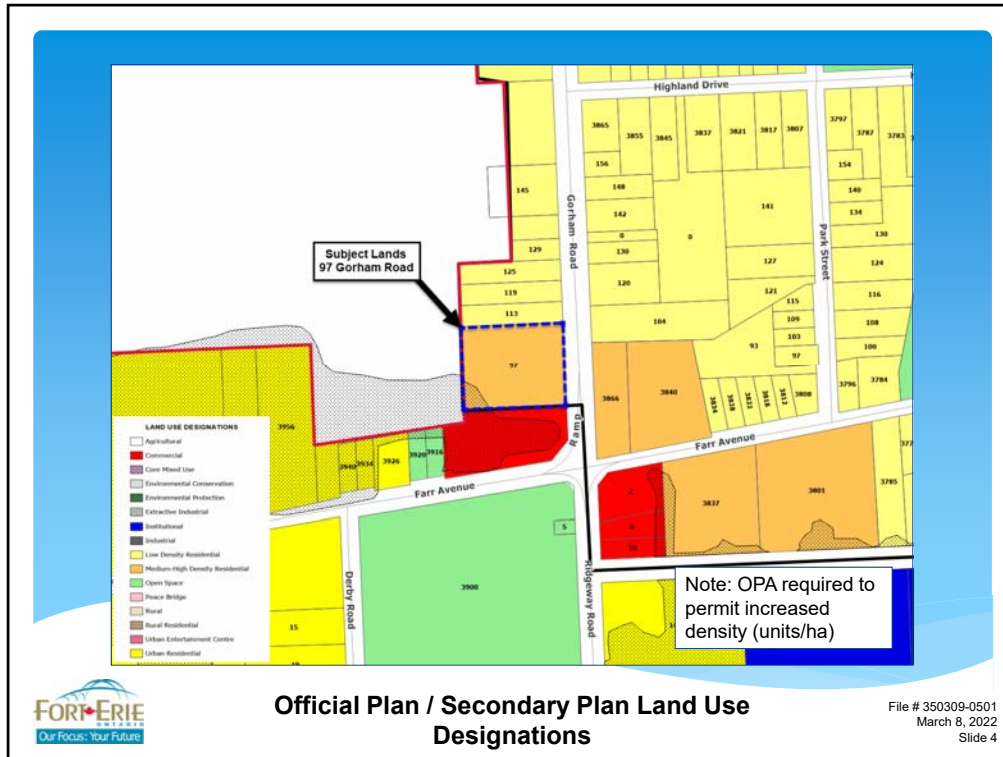
The subject property is located in the Ridgeway-Thunder Bay neighbourhood of the Town of Fort Erie near the corner of Gorham Road and Farr Avenue. An apartment complex consisting of three one storey buildings currently exists on the property. The following summarizes the land uses surrounding the subject property:

- North:** Single detached dwellings along Gorham Road.
- South:** Vacant commercial land, Farr Avenue and the Ridgeway Memorial Cemetery.
- East:** Single detached dwellings and a motel.
- West:** Wooded area and agricultural lands.



This slide illustrates the preliminary site plan for the proposed development.

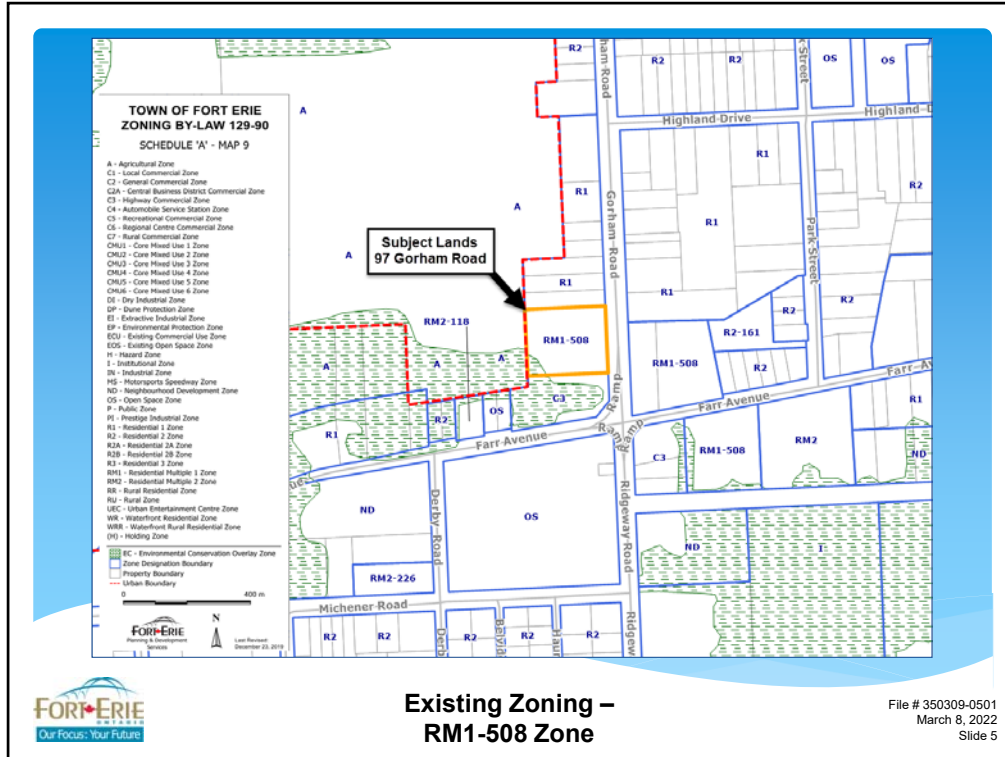
- Two apartment buildings that are four storeys in height are proposed with a total of 72 dwelling units.
- The majority of parking area is located behind the apartments. In total 89 parking spaces are proposed along with 36 outdoor bicycle parking spaces.
- The two driveway entrances that currently exist on the property will be consolidated into one entrance between the two proposed structures.
- A wood privacy fence and trees are proposed along the northern lot line to provide screening and to preserve privacy between the proposed development and the single detached dwellings to the north.
- The building lot coverage is 24%. 28% of the property will be landscaped area.



The subject property is designated Medium Density Residential and Environmental Conservation in the Ridgeway-Thunder Bay Secondary Plan. The Medium Density Residential land use designation is intended for multiple-unit structures such as townhouses and apartment dwellings. The density target of Medium Density Residential areas in the Secondary Plan is 25 – 75 units per hectare.

The Environmental Conservation designation is located in the south west corner of the property. A site visit conducted in 2019 confirmed that the natural heritage features are located completely on the adjacent property and that impacts on the natural heritage features can be adequately addressed through a Tree Preservation Plan.

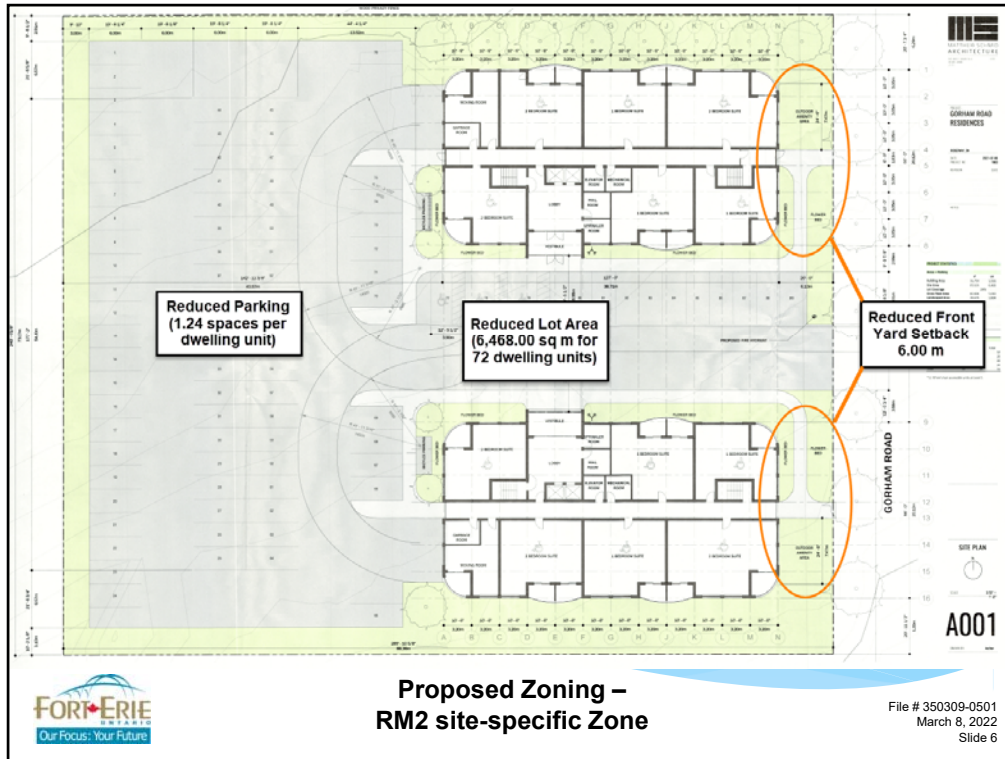
An Official Plan Amendment is required in this instance as the amount of dwelling units proposed for this development equates to 111 units per hectare.



The subject property is currently zoned Residential Multiple 1 (RM1-508) Zone and Environmental Conservation (EC) Overlay Zone in the Town’s Zoning By-law.

Under the existing zoning block townhouse dwellings, street townhouse dwellings and apartment dwellings are permitted uses. The maximum height permitted for apartment dwellings under the RM1-508 zoning is four storeys.

The EC Overlay Zone will necessitate development review by the Town’s Environmental Advisory Committee (EAC). The EC Overlay Zone will need to be lifted by EAC prior to development taking place.



This Zoning By-law Amendment application proposes to rezone the property from Residential Multiple 1 (RM1-508) Zone to site-specific Residential Multiple 2 (RM2) Zone with the following special provisions:

- Reduced lot area of 6,468.00 sq m for 72 units/hectare (111.3 units/hectare)
- Reduced amount of on-site parking spaces to 89 spaces (approximately 1.24 parking spaces per dwelling unit; the Zoning By-law requires 1.50 parking spaces per dwelling unit for apartment buildings).
- Reduced front yard setback to 6.00 m; the RM2 Zone requires a minimum lot frontage of 7.50 m.

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Please note that the presentation has concluded. The information open house will remain open and online from 5:00 p.m. to 6:00 p.m. Staff will monitor the attendee waiting room until 6:00 p.m. for any late attendees and will be available for questions or comments.

If you are watching this stream on YouTube and would like to ask some questions or provide comments, please visit the link below and click on 'Zoning Amendment – 97 Gorham Road' for the Zoom meeting link.

<https://www.forterrie.ca/pages/CurrentPublicNotices>



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Slide 7

That concludes the presentation, thank you.