



**NOTICE OF PUBLIC INFORMATION OPEN HOUSE
PROPOSED COMBINED OFFICIAL PLAN AND ZONING BY-LAW
AMENDMENT**

LOCATION: 214 WINDMILL POINT ROAD SOUTH

OWNER: JOSEPH MOORE

APPLICANT: STEVEN RIVERS (SOUTH COAST CONSULTING)

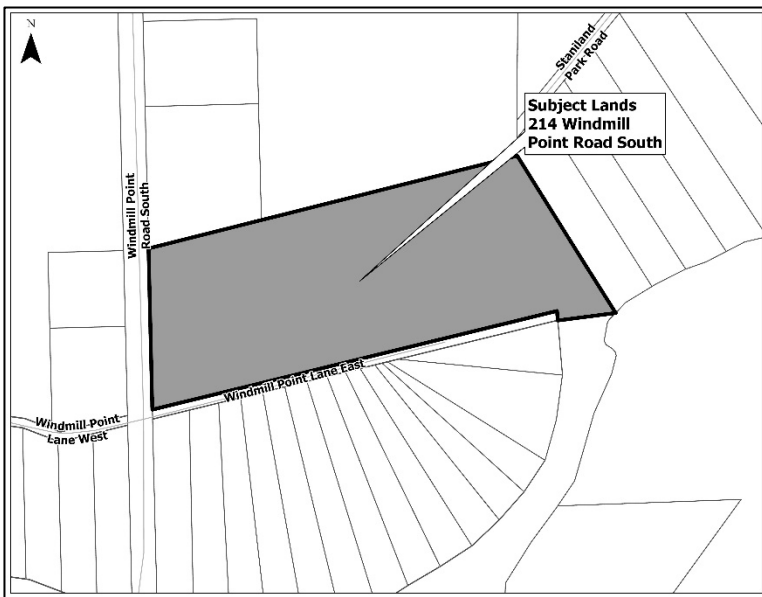
PROPOSAL:

Town of Fort Erie Planning Staff have received a Combined Official Plan and Zoning By-law Amendment application. The application proposes to sever 214 Windmill Point Road South to facilitate the creation of three new residential lots, shown as Parts 2, 3 and 4 on the attached consent sketch (Schedule 1).

The subject property is located outside of the urban area boundary. The

majority of the property is designated Rural in the Town's Official Plan. A portion of the property is designated Environmental Protection, which corresponds with the Lake Erie shoreline. The Applicant is requesting an amendment to the Official Plan as the proposed lots do not comply with the lot frontage requirement of 46.00 m under Section 4.6.3. II. b) of the Official Plan. Further, the proposed lots do not comply with the definition of an infilling lot under Section 4.6.3. II. a) of the Official Plan, wherein an infilling lot means "*a new lot which fronts on a public road and which is situated on the same side of the road and between either an existing dwelling and another existing dwelling or a natural heritage feature or an improved road allowance where the distance between such structures or features is 90 metres or less*".

The majority of the subject property is zoned Rural (RU) Zone, and a portion of the property adjacent to the Lake Erie shoreline is zoned Hazard (H) Zone, in accordance with the Town of Fort Erie Comprehensive Zoning By-law No. 129-90, as amended. An amendment to the Zoning By-law is required as the proposed and retained lots do not meet the minimum lot frontage requirement of 46.00 m.



We would like to hear from you: We invite you to attend an evening Public Information Open House to learn more about this proposal. We welcome you to attend and take advantage of the opportunity to review the proposal, identify issues, and provide additional information. Members of the public can participate in a Public Information Open House meeting in two different ways:

1. Send your comments via mail or email to Mackenzie Ceci, Intermediate Development Planner (mceci@forterie.ca) who will provide them to Council; or
2. Participate in the Public Information Open House. The meeting details are as follows:

Date: Tuesday, September 20, 2022
Time: 5:00 PM to 6:00 PM
Location: Fort Erie Town Hall - 1 Municipal Centre Drive, Fort Erie, ON
Room: Front Atrium

A copy of this notice and the consent sketch are available for download at the following link: <https://www.forterie.ca/pages/CurrentPublicNotices>

For additional information, please contact:

Mackenzie Ceci, Intermediate Development Planner
at 905-871-1600 ext. 2514 or at mceci@forterie.ca

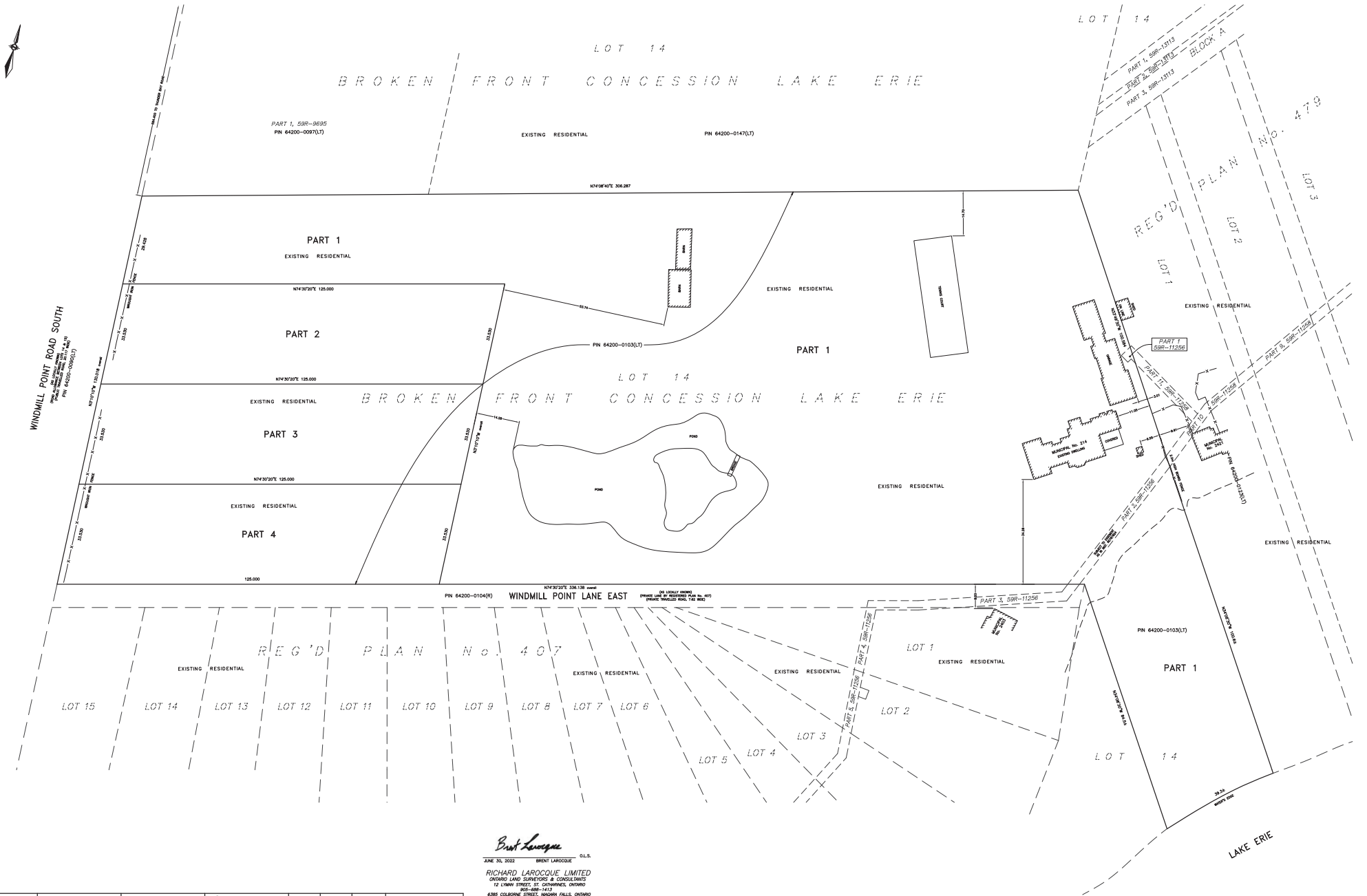
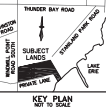
Notice date: August 31, 2022

SCHEDULE 1

PRELIMINARY SKETCH TO ACCOMPANY AN APPLICATION UNDER THE PLANNING ACT
 PART OF LOT 14
 BROKEN FRONT CONCESSION LAKE ERIE
 (GEOGRAPHIC TOWNSHIP OF BEKITE)
 TOWN OF FORT ERIE
 REGIONAL MUNICIPALITY OF NIAGARA

SCALE 1:400 METRIC
 0 10m 20m

AREA SCHEDULE	
DESCRIPTION	AREA (sq)
PART 1	34,201.5
PART 2	4,026.7
PART 3	4,026.7
PART 4	4,026.7



Brent Larocque
 O.L.S.
 JUNE 30, 2022 BRENT LAROCQUE

RICHARD LAROCQUE LIMITED
 CHARTERED LAND SURVEYORS & GEOLOGISTS
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 N0G 1A0
 905-468-1413
 6365 COLBURN STREET, NIAGARA FALLS, ONTARIO
 N0G 1S6
 905-368-8940

THIS SKETCH IS PREPARED FOR AN APPLICATION UNDER THE PLANNING ACT AND ALL DIMENSIONS ARE TO BE CONFIRMED BY SURVEY.	NOTE: THE LOT DIMENSIONS ILLUSTRATED HEREIN HAVE BEEN DERIVED FROM A PLAN AND ALL METERS AND DIMENSIONS SHOWN ON THIS PLAN ARE TO BE CONFIRMED BY SURVEY.	METRIC NOTE: DISTANCES SHOWN ON THIS PLAN ARE IN METERS AND DIMENSIONS TO BE CONFIRMED BY SURVEY.	© RICHARD LAROCQUE LIMITED. ALL RIGHTS RESERVED. NO PART OF THIS SKETCH OR ANY INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF RICHARD LAROCQUE LIMITED.	DRAWN BY: D.S.	CHECKED BY: B.L.	DATE: JUNE 30, 2022	FILE NO: N3330-072	DWG. FILE: N3330-072-05
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